

Planning Department

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**STAFF REPORT TO THE
BENTON COUNTY HEARINGS EXAMINER
Wilson: Accessory Dwelling Unit**

HEM 1.1

FILE NO: CUP 2020-015

HEARING DATE: November 20, 2020

APPLICANT/OWNER: Brian Wilson, 56615 NW Roza PR, Benton City, WA 99320

LOCATION: General Location: The property is located south of the intersection of Kelly Road and Roza Road, along the eastern side of Roza Road.
Address: 56615 NW Roza PR, Benton City, WA 99320
Legal: Short Plat # 1696 Lot 1 subject to easements and restrictions of record.
Parcel Number: 1-0296-201-1696-001

PROPERTY SIZE: Approximately 7.49 acres

AREA TO BE USED: Not to exceed 800 square feet

LAND USE: Residential

ZONING: Rural Land 5 Acre

COMPREHENSIVE PLAN DESIGNATION: Rural Remote

RECOMMENDATION:

Planning Department recommends approval of the application request, subject to the suggested Findings of Fact and Conditions of Approval outlined in this Staff Report.

APPLICATION DESCRIPTION:

The applicant is requesting a Conditional Use Permit to construct a 700 sq. ft. Accessory Dwelling Unit (ADU) with an attached 180 sq. ft shop and 240 sq. ft garage on a lot with an existing single-family dwelling at 56615 N West Roza PR in Kennewick.

The property is approximately 7.49 acres in size and is zoned Rural Lands 5 District.

The proposed detached ADU will be accessory to an owner-occupied single-family home, will be limited to 800 sq. ft. in size based on the size of the main home and contain no more than one (1) bedroom as directed in the Benton County Code.

The site currently consists of a single-family 2000 sq. ft. home and a 2000 sq. ft. accessory building (shop). The applicant plans to incorporate the approximately 35' x 20' Accessory Dwelling Unit inside a new 35' x 32' accessory building west of the single-family home.

PUBLIC NOTICE:

1. The application for CUP 2020-015 was submitted to the Benton County Planning Department on September 24, 2020
2. The application was declared complete for processing on October 2, 2020.
3. The application documents were distributed to reviewing agencies on October 2, 2020.
4. The Benton County Hearings Examiner Notice of Open Record Hearing for application CUP 2020-015 was published on November 4, 2020 in the Prosser Record Bulletin.
5. The Notice was mailed to property owners of record within 300 feet of the outer boundaries of the parcel on November 3, 2020.
6. The Open Record Hearing is scheduled for November 16, 2020.

APPLICABLE STANDARDS/ORDINANCES:

1. *Revised Code of Washington*
RCW 36.70A.390, Accessory Apartments
Any local government, as defined in RCW 43.63A.215, that is planning under this chapter shall comply with RCW 43.63A.215(3).

RCW 43.63A.215(3)

Unless provided otherwise by the legislature, by December 31, 1994, local governments shall incorporate in their development regulations, zoning regulations, or official controls the recommendations contained in subsection (1) of this section. The accessory apartment provisions shall be part of the local government's development regulation, zoning regulation, or official control. To allow local flexibility, the recommendations shall be subject to such regulations, conditions, procedures, and limitations as determined by the local legislative authority.

2. *Benton County Comprehensive Plan*
3.3.2.3 Rural Land Use Designations
Rural Remote is the predominant rural land use in the County. This land is located mostly between the agricultural lands (GMA Agriculture), Rural Transition, and the UGAs. Rural Remote land use is intended to enhance and preserve the County's rural character, which includes: rural open space, low densities, wildlife habitat, public open space for outdoor recreational activities, and rural home sites on which a limited range of agricultural activities may be conducted. Allowable density in Rural Remote land use is 1Du/5acres.

Benton County Comprehensive Plan

Section 2.7 Housing

HE Goal 1: Provide for a variety of residential uses and densities consistent with the rural character and lifestyles and a choice of housing types for people of all income levels.

Policy 7: Consider accessory dwelling units as an affordable housing option and look for flexible and innovative ways of integrating accessory dwelling units into single family residential zones.

Section 6.4.2 Housing Types

Accessory Dwelling Units. The zoning code permits the establishment of additional living quarters within single family residences to permit persons who, due to a disability or an infirmity, require the assistance of friends, relatives, or a professional nurse to remain in their home and for persons related to the occupant. These units help meet the needs of the disabled, infirm, or elderly in need of assisted care and are currently allowed by ordinance in all residential zones and the agricultural zoning district of Benton County.

3. *Benton County Code*, Chapter 11.03 Definitions.

11.03.010 DEFINITIONS.

- (2) "Accessory Dwelling Unit" an additional room or set of rooms located within a single family structure and designed, arranged, occupied or intended to be occupied by not more than one (1) household as living accommodations independent from any other household and not exceeding 800 square feet in area.

4. *Benton County Code*, Chapter 11.42 General Use Regulations

11.42.020 ACCESSORY DWELLING UNITS (ADU). An accessory dwelling unit shall be allowed on any real property located within unincorporated Benton County that is zoned for single family residences, except for those properties with an Industrial or Commercial zoning designation, thereby meeting the requirements of the Washington State Housing Policy Act of 1993 to incorporate provisions for accessory apartments in the County's zoning ordinance (Title 11 BCC).

- (a) All accessory dwelling units authorized herein shall meet the following minimum criteria:
 - (1) One (1) accessory dwelling unit is allowed per parcel/lot.
 - (2) A single-family dwelling must be located on the parcel/lot where the accessory dwelling unit is to be located.
 - (3) The accessory dwelling unit shall not exceed 40% of the total square footage of the single-family home or 800 square feet in size, whichever is smallest.
 - (4) The accessory dwelling unit shall consist of no more than one (1) bedroom.
 - (5) The accessory dwelling unit shall provide two (2) off-street parking spots.
 - (6) An accessory dwelling unit shall be constructed on the site and permanently affixed to the ground by footings and foundation. A recreational vehicle (RV), mobile home, manufactured home, or factory assembled structure is not to be permitted as an accessory dwelling unit.
 - (7) The accessory dwelling unit is not allowed on a lot/parcel that has a duplex, multi-family dwelling, a temporary dwelling permit (see BCC 11.42.110), a multiple detached dwelling permit (see BCC 11.42.080) or two (2) or more single-family dwellings.
 - (8) The accessory dwelling unit is not allowed to be used in the operation of a home occupation.
 - (9) The accessory dwelling unit shall both meet and comply with Benton Franklin Health District standards.
 - (10) The accessory dwelling unit shall meet and comply with Benton County Fire Marshal requirements for access.
 - (11) The accessory dwelling unit may be permitted as either a ground floor or 2nd floor unit.;
 - (12) Either the accessory dwelling unit or the single-family dwelling shall be occupied by a landowner(s) as his/her primary residence. The landowner shall maintain residency at least six (6) months out of the year and at no time receive rent for, or otherwise allow to occupy the landowner(s) unit when absent the rest of the year.
 - (13) If the accessory dwelling unit is connected to the single-family dwelling through

a breezeway or similar means, the accessory dwelling unit shall be considered detached and compliance with subsection (c) below is required.

- (14) The accessory dwelling unit shall comply with the applicable building, fire, critical area, shoreline, and zoning requirements of Title 3, 11, and 15 of Benton County Code.
- (15) The accessory unit shall not be considered as a dwelling unit when calculating density.

(c) An accessory dwelling unit detached from the single-family dwelling shall comply with the following:

(1) All detached accessory dwelling units require approval of a conditional use permit (see Chapter 11.50 BCC).

(2) A detached accessory dwelling unit shall comply with the following minimum design standards.

(i) The detached accessory dwelling unit may be constructed within an existing outbuilding or be a stand along structure, where the dwelling unit does not share a common wall with the primary single-family dwelling. If the accessory dwelling unit is connected to the single-family dwelling through a breezeway or similar means, the accessory dwelling unit shall be considered detached. 11.42.030 11-180 (BCC 12/20/18)

(ii) An outside entrance to the accessory dwelling unit is required and be placed at the side or rear of the building, when possible, to maintain appearance and character of an accessory use.

5. *Benton County Code*, Chapter 11.50.040 Conditional Use.

11.50.040 (a) CONDITIONAL USE PERMIT- GENERAL STANDARDS. The conditional use permit application process allows the Hearings Examiner to review the location and design of certain proposed uses, the configuration of improvements, and the potential impacts on the surrounding area. The application process also allows the Hearings Examiner to ensure that development in each zoning district protects the integrity of that district. The notice, hearing, decision and enforcement procedures are as set forth herein and in BCC 11.50.050.

Certain uses are classified as conditional uses because of their unusual nature, infrequent occurrence, special requirements, or potentially significant impacts to the environment, public infrastructure or adjacent properties, and/or possible safety hazards and other similar reasons.

Once granted, a conditional use permit may be transferred by a holder thereof after written notice to the Hearings Examiner; provided the use and location must remain the same and the transferee must continue to comply with the conditions of the permit and, if applicable, the requirements set forth in Chapter 11.51 BCC.

11.50.040 (d) CONDITIONAL USE PERMIT- PERMIT GRANTED OR DENIED. A conditional use permit shall be granted only if the Hearings Examiner can make findings of fact based on the evidence presented sufficient to allow the Hearings Examiner to conclude that, as conditioned, the proposed use:

- (1) Is compatible with other uses in the surrounding area or is no more incompatible than are any other outright permitted uses in the applicable zoning district;
- (2) Will not materially endanger the health, safety, and welfare of the surrounding community to an extent greater than that associated with any other permitted uses in the applicable zoning district;

- (3) Would not cause the pedestrian and vehicular traffic associated with the use to conflict with existing and anticipated traffic in the neighborhood to an extent greater than that associated with any other permitted uses in the applicable zoning district;
- (4) Will be supported by adequate service facilities and would not adversely affect public services to the surrounding area; and
- (5) Would not hinder or discourage the development of permitted uses on neighboring properties in the applicable zoning district as a result of the location, size or height of the buildings, structures, walls, or required fences or screening vegetation to a greater extent than other permitted uses in the applicable zoning district.

It is the applicant's burden to present sufficient evidence to allow the above conclusions to be made. If such evidence is not presented or all necessary reasonable conditions are not identified by the applicant so as to allow the Hearings Examiner to make the conclusions required above, the conditional use application shall be denied.

AGENCY COMMENTS:

- 1. The application documents were distributed to the following reviewing agencies on October 2, 2020.
 - a. Benton REA
 - b. Benton-Franklin Health District
 - c. Benton County Building Department
 - d. Benton County Fire District #2
 - e. Benton County Fire Marshal
 - f. Benton County Code Enforcement
 - g. Benton County Public Works Department
 - h. Benton Irrigation District
 - i. Benton County Rural Water Supply Mitigation Program
- 2. Agency comments were received from:
 - a. Benton County Public Works Department
 - b. Benton County Code Enforcement
- 3. The following are general comments and discussion points from the Planning Department:
 - a. The lot is zoned Rural Lands Five Acre (RL-5) District.
 - b. The lot is designated Rural Remote by the Benton County Comprehensive Plan.
 - c. Surrounding Land Uses: Similar in nature to the applicant's property, the adjoining properties on all sides involve single-family homes with residential accessory and agricultural uses.
 - d. SEPA: A proposal for a single ADU is exempt from a State Environmental Policy Act checklist and review.
 - e. Upon completion of a review of BCC Title 15 and the Benton County Critical Area Maps, no designated critical areas have been identified. A critical area report is not required for the processing of a conditional use permit for the proposed activity at this location.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL:

The following Findings of Fact and Conditions of Approval are based on comments received up to the date of this staff memo. Any comments received after the completion of this staff memo or submitted during the advertised public hearing for CUP 2020-015 will need to be considered by the Hearings Examiner and may be added to the suggested Findings of Fact and Conditions of Approval as set forth below. The Hearings Examiner may decide to adopt these as their own or amend/add to these Findings of Fact and Conditions of Approval after holding the open public hearing.

Based on the information received to date, Planning Staff recommends approval of the applicant's request with the following suggested findings of fact and conditions of approval:

SUGGESTED FINDINGS OF FACT

The County makes the following Findings of Fact:

1. The applicant requests to construct a 700 sq. ft. Accessory Dwelling Unit with attached 180 sq. ft shop and a 240 sq. ft garage on a property with an existing single-family dwelling at 56615 NW Roza PR, Benton City, WA 99320.
2. The applicant is Brian Wilson whose mailing address is 56615 NW Roza PR, Benton City, WA 99320.
3. The property is located south of the intersection of Kelly Road and Roza PR, along the eastern side of Roza PR. (Parcel Number 1-0296-201-1696-001).
4. The property is approximately 7.49 acres in size and is zoned Rural Lands 5 Acre (RL-5) District.
5. The proposed detached ADU will be accessory to an owner-occupied single-family home, will be limited to 800 square feet in size, and contain no more than one (1) bedroom as directed in the Benton County Code.
6. The site currently consists of a single-family 2000 sq. ft. home and a 2000 sq. ft. accessory building (shop). The applicant plans to incorporate the approximately 35' x 20' Accessory Dwelling Unit inside a new 35' x 32' accessory building west of the single-family home.
7. Public notice and application requirements have been completed for the Conditional Use Permit request as follows:
 - a. The application for CUP 2020-015 was submitted to the Benton County Planning Department on September 24, 2020
 - b. The application was declared complete for processing on October 2, 2020.
 - c. The application documents were distributed to reviewing agencies on October 2, 2020.
 - d. The Benton County Hearings Examiner Notice of Open Record Hearing for application CUP 2020-015 was published on November 4, 2020 in the Prosser Record Bulletin.
 - e. The Notice was mailed to property owners of record within 300 feet of the outer boundaries of the parcel on November 3, 2020.
 - f. The Open Record Hearing is scheduled for November 16, 2020.
8. The proposed detached ADU is allowable by Conditional Use Permit if approved by the Benton County Hearings Examiner.
9. The detached ADU must comply with Benton County Building Department standards and requirements, as per the Conditions of Approval.
10. The application for CUP 2020-015 is consistent with the Growth Management Act, RCW 36.70A, including RCW 36.70A.390.
11. The application for CUP 2020-015 is consistent with RCW 43.63A.215 (3) *Accessory apartments*.
12. The application for CUP 2020-015 is consistent with the goals and policies of the Benton County Comprehensive Plan.

13. The application for CUP 2020-015 is consistent with the requirements included in the Benton County Zoning Code.
14. The application for CUP 2020-015 is consistent with the requirements in Benton County Code (BCC), Title 11 Zoning, Chapter 11.42 General Provisions, Section(s) 11.42.020 (a) Accessory Dwelling Units (ADU), as follows:
 - (1) *One (1) accessory dwelling unit is allowed per parcel/lot.*
 - a. One (1) detached ADU is proposed for the subject property.
 - (2) *A single-family dwelling must be located on the parcel/lot where the accessory dwelling unit is to be located.*
 - a. A single-family dwelling is located on the parcel/lot where the detached ADU is to be located.
 - (3) *The accessory dwelling unit shall not exceed 40% of the total square footage of the single-family home or 800 square feet in size, whichever is smallest.*
 - a. The single-family home is approximately 2000 square feet.
 - b. Forty percent 40% of 2000 square feet is 800 square feet. With this, the detached ADU shall be no greater in size than 800 square feet.
 - c. The applicant is proposing approximately 700 square feet in the application.
 - (4) *The accessory dwelling unit shall consist of no more than one (1) bedroom.*
 - a. The detached ADU will have one (1) bedroom.
 - (5) *The accessory dwelling unit shall provide two (2) off-street parking spots.*
 - a. The applicant is proposing two (2) parking spots to serve the detached ADU.
 - (6) *An accessory dwelling unit shall be constructed on the site and permanently affixed to the ground by footings and foundation. A recreational vehicle (RV), mobile home, manufactured home, or factory assembled structure is not to be permitted as an accessory dwelling unit.*
 - a. The proposal is to construct a site built 700 sq. ft. ADU.
 - b. The proposed ADU would be 35' x 20'.
 - (7) *The accessory dwelling unit is not allowed on a lot/parcel that has a duplex, multi-family dwelling, a temporary dwelling permit (see BCC 11.42.110), a multiple detached dwelling permit (see BCC 11.42.080) or two (2) or more single-family dwellings.*
 - a. The lot/parcel is improved with a home and a detached accessory building.
 - b. No additional dwelling or housing units exist or are proposed.
 - (8) *The accessory dwelling unit is not allowed to be used in the operation of a home occupation.*
 - a. A home occupation is not planned nor proposed to be operated in the detached ADU.
 - (9) *The accessory dwelling unit shall both meet and comply with Benton Franklin Health District standards.*
 - a. The detached ADU must comply with BFHD standards as per the Conditions of Approval.
 - (10) *The accessory dwelling unit shall meet and comply with Benton County Fire Marshal requirements for access.*
 - a. The detached ADU complies with Fire Marshal standards.

- (11) *The accessory dwelling unit may be permitted as either a ground floor or 2nd floor unit.*
 - a. The detached ADU will be a ground floor unit.
 - (12) *Either the accessory dwelling unit or the single-family dwelling shall be occupied by the landowner(s) as their primary residence. The landowner shall maintain residency in the primary house at least six (6) months out of the year and at no time receive rent for, or otherwise allow anyone to occupy the landowner(s) unit when absent the rest of the year.*
 - a. At the time of application, the mother of the property owner plans to reside in the ADU as her primary dwelling and the owner will reside in the existing single-family dwelling.
 - (13) *If the accessory dwelling unit is connected to the single-family dwelling through a breezeway or similar means, the accessory dwelling unit shall be considered detached and compliance with the applicable portions of the Benton County Code for detached ADU's is required.*
 - a. This standard is not applicable to the submitted application.
 - (14) *The accessory dwelling unit shall comply with the applicable building, fire, critical area, shoreline, and zoning requirements of Title 3, 11, and 15 of the Benton County Code.*
 - a. The detached ADU complies with Building Department requirements and Fire Marshal requirements.
 - b. The detached ADU complies with the Benton County critical area, shoreline master program, and zoning regulations.
15. The application for CUP 2020-015 is consistent with requirements in Benton County Code (BCC), Title 11 (Zoning), Chapter 11.42 General Provisions, Section 11.42.020 (c)(2)(i) which states "The detached ADU may be constructed within an existing outbuilding" or be a stand-alone structure "where the dwelling unit does not share a common wall with the primary single-family dwelling."
- a. The applicant plans to construct a 1,120 sq. ft. building with a 700 sq. ft. ADU, 180 sq. ft shop and a 240 sq. ft garage.
16. The application for CUP 2020-015 is consistent with requirements in Benton County Code (BCC), Title 11 (Zoning), Chapter 11.42 General Provisions, Section 11.42.020(c)(2)(ii) which states "An outside entrance to the accessory dwelling unit is required and be placed at the side or rear of the building, when possible, to maintain appearance and character of an accessory use."
- a. The detached ADU is proposed to be placed west of the single-family home. The distance from Roza PR as well as the orientation of the home and attached shop will make the accessory building difficult to see from the access road.
 - b. The County believes the proposed door layout of the structure is adequate for its location and situation, subject to compliance with the Findings of Fact and Conditions of Approval.
17. The application is consistent with requirements in Benton County Code (BCC), Title 11 Zoning, Chapter 11.42 General Provisions, Section(s) 11.42.020 (d) which states "the applicant shall record the permit issued for the accessory dwelling unit with the Benton County Auditor's Office. The recording fee shall be paid by the applicant for the accessory dwelling unit. The permit shall include a statement that the accessory dwelling may not be sold as a separate residence until such time as the accessory dwelling is located as the sole residence on a legally subdivided parcel".
- a. The County will provide the applicant an ADU agreement/permit to be signed, notarized and recorded by the applicant with the Benton County Auditor's Office.
18. The application is consistent with the requirements in Benton County Code (BCC), Title 11 (Zoning),

Chapter 11.50.040 (d) which state the Findings of Fact the Hearings Examiner must make in order to grant the request.

Specific to this permit application, the County finds:

- a. The proposed detached ADU is compatible with other uses in the surrounding area and is no more incompatible than are any other outright permitted uses in the applicable zoning district;
- b. The proposed detached ADU will not materially endanger the health, safety, and welfare of the surrounding community to an extent greater than that associated with any other permitted uses in the applicable zoning district;
- c. The pedestrian and vehicular traffic caused by the proposed detached ADU will not conflict with existing and anticipated traffic in the neighborhood to an extent greater than that associated with any other permitted uses in the applicable zoning district;
- d. The proposed detached ADU will be supported by adequate service facilities and would not adversely affect public services to the surrounding area; and
- e. The proposed detached ADU will not hinder or discourage the development of permitted uses on neighboring properties in the applicable zoning district as a result of the location, size or height of the buildings, structures, walls, or required fences or screening vegetation to a greater extent than other permitted uses in the applicable zoning district.

SUGGESTED CONDITIONS OF APPROVAL

If the Hearings Examiner decides to approve Conditional Use Permit request CUP 2020-015 then the following are suggested conditions recommended by the Planning Department:

Any conditions imposed by the Hearings Examiner shall be completed prior to the Planning Department issuing the Conditional Use Permit. The applicant shall notify the Benton County Planning Department in writing when the conditions set forth herein have been completed. The Conditional Use Permit shall not become effective until issued by the Planning Department.

If the conditions of approval have not been met and the Planning Department does not issue the Conditional Use Permit within one (1) year from the time the Hearings Examiner has conditionally approved the Conditional Use Permit, the Hearings Examiner may declare its approval null and void at a regular Hearings Examiner meeting. Prior to doing so, the applicant shall be notified in writing at the applicant's last known address at least twelve (12) days in advance of the upcoming Hearings Examiner meeting.

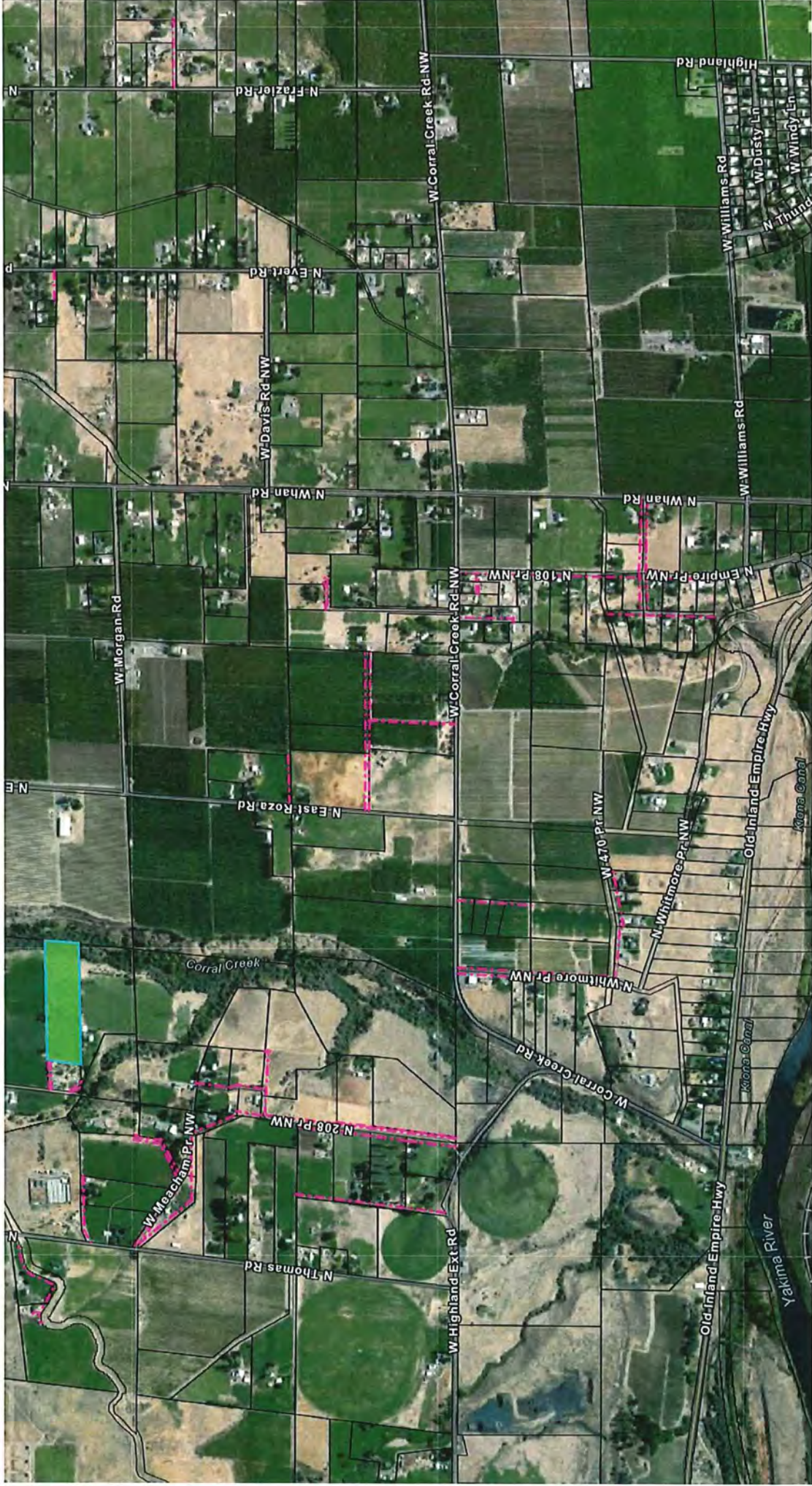
Conditions of Approval:

1. All required development permits shall be obtained prior to occupancy of the detached ADU. This includes approval of permits required by the following, as applicable:
 - a. Benton County Building Department; for building permits
 - b. Benton County Fire Marshal; for fire and safety regulations
 - c. Benton County Planning Department; for a Rural Water Supply Mitigation Program Certificate
2. Either the detached ADU or the single-family dwelling shall be occupied by a landowner(s) as his/her primary residence. The landowner shall maintain residency at least six (6) months out of the year and at no time receive rent for, or otherwise allow others to occupy the landowner(s) unit when absent the rest of the year.
3. One (1) ADU is allowed per parcel/lot.
4. The detached ADU shall not exceed 800 square feet in size.
5. The detached ADU shall not have more than one (1) bedroom.

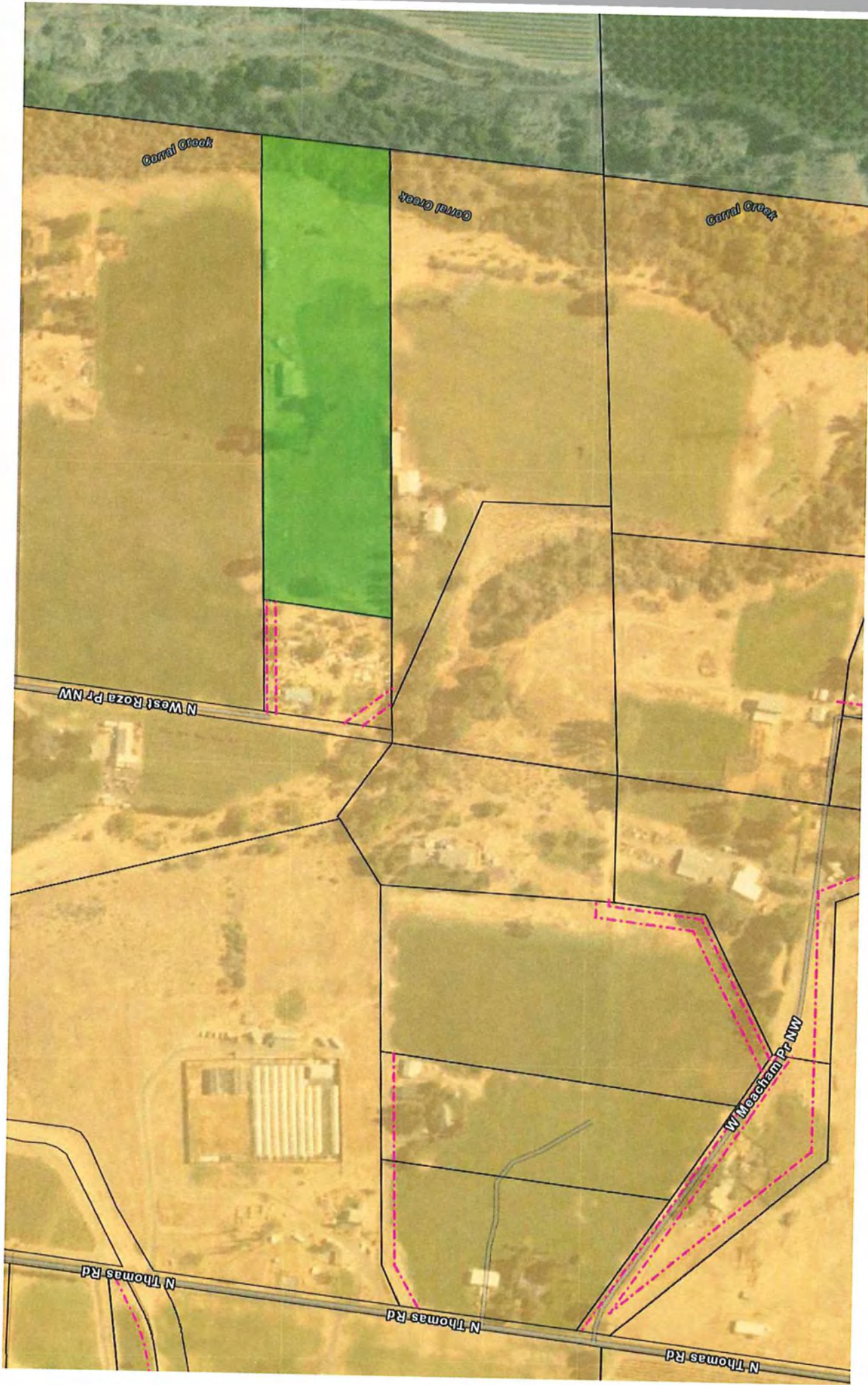
6. The detached ADU shall be occupied by not more than one (1) household as living accommodations.
7. The detached ADU is not allowed to be used in the operation of a home occupation.
8. The detached ADU must be located on the same lot as a single-family dwelling.
9. Benton Franklin Health District requires:
 - 1) the accessory dwelling is served by a single family well or an approved public water supply in accordance with WAC 246-291; and
 - 2). The accessory dwelling will be served by an on-site sewage disposal system that is permitted, installed, and approved in accordance with Benton-Franklin District Board of Health Rules and Regulations No. 2.
10. Two (2) off street parking spaces shall be provided to serve the detached ADU.
11. A duplex, multi-family dwelling, Temporary Dwelling permit, Multiple Detached Dwelling permit, or two (2) or more single-family dwellings are not to be permitted on a lot/parcel with an ADU.
12. The applicant shall apply for a road approach permit from the Benton County Public Works Department and meet all requirements of that department.
13. The County will provide an ADU agreement to the applicant. The applicant shall sign the agreement before a Notary Public and record the document with the Benton County Auditor's Office. The recording fee shall be paid by the applicant. The document will include a statement that the Accessory Dwelling Unit may not be sold as a separate residence until such time as the accessory dwelling is located as the sole residence on a legally subdivided parcel.
14. Any violation of the conditions of approval will be processed in accordance with BCC Title 11, Chapter 11.43 Administration and Disposition of Infractions. If the Conditional Use Permit has been issued and violations exist, the Hearings Examiner may revoke the permit after an open record hearing with notice as set forth in BCC 11.50.050(b), as amended. This condition does not foreclose the County's use to other enforcement mechanisms.

The permit holder shall continue to meet all conditions of approval while CUP 2020-015 is in effect.

HEM 1.2



CUP 2020-015 Vicinity Map - Wilson
Created by the Benton County Planning Department



CUP 2020-015 Vicinity map - Wilson ADU
Created by the Benton County Planning Dept.

Planning Department

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Prosser Office: 620 Market Street, 1st Floor
Kennewick Office: 102206 East Wiser Parkway

CONDITIONAL USE PERMIT APPLICATION

File No. CUP 2020-015

RECEIVED

SEP 24 2020

Benton Co. Planning Dept.

APPLICANT INFORMATION

Please check the box indicating primary contact person for this application

Name of Applicant/Agent: Brian R. Wilson
Mailing Address: 56615 N West Roza PRNW City: Benton City State: WA ZIP: 99320
Phone #1: 509-551-7841 Phone #2: _____
Email Address(es): Brian.R.Wilson.Tricities@gmail.com
Signature: [Signature] Date: 9/15/2020

Name of Property Owner(s) (if different): Brian and Tabitha Wilson
Mailing Address: 56615 N West Roza PRNW City: Benton City State: WA ZIP: 99320
Phone #1: 509-551-7841 Phone #2: _____
Email Address(es): Brian.R.Wilson.Tricities@gmail.com
Signature: [Signature] Date: 9/15/2020
Signature: [Signature] Date: 9/15/2020

*If there are additional owners please copy this section, sign, and attach to the application

If the property is owned by a corporation, trust, partnership or LLC please complete the entity signature block below showing that the person signing has the authority to sign on behalf of the company.

ENTITY SIGNATURE BLOCK

Applicant/Legal Owner name: _____

Officer name: _____ Title: _____

Signature: _____ Date: _____

THE ABOVE SIGNED OFFICER OF (name of entity) _____ WARRANTS AND REPRESENTS THAT ALL NECESSARY LEGAL AND CORPORATE ACTIONS HAVE BEEN DULY UNDERTAKEN TO PERMIT (name of applicant) _____ TO SUBMIT THIS APPLICATION AND THAT THE ABOVE SIGNED OFFICER HAS BEEN DULY AUTHORIZED AND INSTRUCTED TO EXECUTE THIS APPLICATION.

Any information submitted to the Benton County Planning Department is subject to public records disclosure law for the State of Washington (RCW Chapter 42.17) and all other applicable law that may require the release of the documents to the public.

PARCEL INFORMATION

Benton City WA 99325

4. Subject property address including city: 56615 N. West Roza PRNW

5. Parcel #(s): 1 - 0296 - 201 - 1696 - 001

6. Acreage: 7.49

7. Access: County Road State Road/Highway Private Road

8. Utilities: Power: Benton PUD Benton REA Other: _____

Sewer: Septic Tank City Sewer Other: _____

Water: Individual well(s) One well serving 2-4 lots One well serving 5+ lots
 City System Provider: _____
 Private System Provider name and address: _____

Gas: No Yes Provider name: _____

Irrigation: No Yes Provider name: Benton Irrigation District

9. Current use(s) on property: 18

10. What are you proposing to do that requires a Conditional Use Permit? Accessory Dwelling Unit (Detached)

For the following proposed uses, please attach the appropriate addendum form:

Business Use, Detached Accessory Dwelling Unit, Child Care Facility (Type B), Bed & Breakfast, Mineral Extraction (Commercial Sand & Gravel), Commercial Kennel, Winery.

11. Additional comments or information: Dwelling is for retired mother.
Not a rental

If further explanation is needed for any of the questions above, please attach additional pages.

(FOR STAFF USE ONLY)

Application Complete: Y N

Critical Areas: N Y: _____ Zoning: _____

Reviewed by: _____ Date: _____



CONDITIONAL USE PERMIT APPLICATION ADDENDUM DETACHED ACCESSORY DWELLING UNIT

File No. _____

Applicant Name: Brian R. Wilson.

1. Number of Accessory Dwelling Units currently on the property: 0
2. Is there a single family dwelling currently on the property? Yes No
3. What is the square footage of the main home? 2000 sq. ft.
4. What is the square footage of the proposed accessory dwelling unit? 700 sqft living area
5. How many bedrooms will be in the Accessory Dwelling Unit? 1 bedroom
6. Does the landowner currently have any other land use permits? Not to my knowledge.

Please describe the purpose and reason for the Accessory Dwelling Unit:

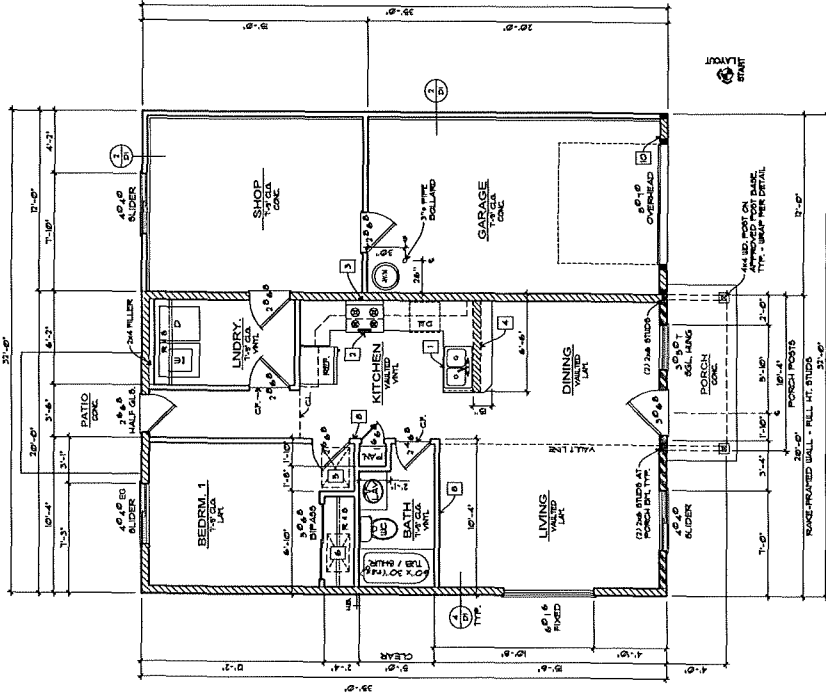
To provide a place to live for my mother in her retirement.

Please provide a site plan that includes the following:

- Outer boundaries and dimensions of the property including access points
- All existing and planned improvements (including accessory buildings, septic, wells, drainfields, etc)
- Location of roads, easements, etc.
- Distance (in feet) from the ADU to the edges of the parcel and to the main house
- Where parking will be for the main home and the ADU
- All entries/exits for the ADU
- Dimensions and use of each room in the ADU

SEE 'S' SHEET FOR HOLDDOWNS & WALL BRACING INFORMATION

OPT. COV. PATIO
SEE SHEET G1



FLOOR PLAN
SCALE: 1/4" = 1'-0" (24" X 36" SHEET)
SCALE: 1/8" = 1'-0" (18" X 24" SHEET)

KEYNOTES

SYM.	DESCRIPTION
1	RINK W/ DRAINCHER
2	RANGE W/ MICROWAVE ABOVE (VENT TO EXTERIOR) OR MICROWAVE
3	REQUIRED 14'-0" IN THE CLEAR FRONT CENTER
4	2x4 HALF-WALL W/ FLUMIN COUNTER BAR - DETAIL 1003
5	ATTIC ACCESS - SEE ROOF PLAN
6	CHALLENGE ACCESS - SEE FOUNDATION PLAN
7	WATER HEATER AS NOTED - VERIFY REEDS CLEARANCES PER MANUF. POINT ON TOP OF 2" DIA. STUDS
8	WRAPE WALLS UP TO VAULTED CEILING - POINT ON TOP OF 2" DIA. STUDS
9	FILE ENTRY FLOORS - VERIFY TRACK LOCATION PRIOR TO INSTALLATION
10	WARRANTY TRACK LOCATION PRIOR TO INSTALLATION



SIMPLICITY
BY HAYDEN HOMES

2448 SW GLADSTONE PLACE
PORTLAND, OR 97225
PH: 503.281.1111 FAX: 503.281.1112

THE WILSON RESIDENCE
700 SQ. FT.

REVISIONS

CURRENT AS OF 01/15/20

SIDE GARAGE

FLOOR PLAN

A2

NOTES:

1. ALL WALLS TO BE FINISHED WITH 5/8" GYPSUM BOARD. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYPSUM BOARD. ALL EXTERIOR WALLS TO BE FINISHED WITH 5/8" GYPSUM BOARD. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYPSUM BOARD. ALL EXTERIOR WALLS TO BE FINISHED WITH 5/8" GYPSUM BOARD.

SYMBOLS LEGEND

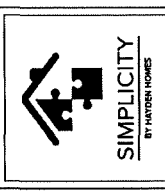
- HIDDEN LINES INDICATE OPTIONAL PLANS
- 2x4 FRAME WALL W/ STUDS AT 16" O.C.
- 2x4 FRAME-WRAPE WALL TO VAULTED CEILING AT 16" O.C. (FULL HEIGHT STUDS)
- 2x4 FRAME WALL W/ STUDS AT 24" O.C.
- BEARING POINT LOCATION - PROVIDE LING. (2x4) VERT. W/ ELEVATION - VERIFY PER PLAN
- FACE OF STUDS
- CHANGE IN FLOORING
- CHANGE IN CEILING LINE
- ROD 1/2" DIA.
- MOSE BIBS LOCATION
- UNDOOR ATTACHED
- 1" x 1" REINFORCED CONCRETE - CONCRETE EG - EXTERIOR

DESCRIPTION

FLOOR AREA	700 SQ. FT.
EXTERIOR	1 OF 2
GARAGE/LOFT	420 SQ. FT.
COVERED PORCH	41 SQ. FT.
OPT. COVERED PATIO	49 SQ. FT.

7/10/2015 UNDOOR ATTACHED 1" x 1" REINFORCED CONCRETE - CONCRETE EG - EXTERIOR

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



2485 DUNCLIFFER PLACE
 PR. 541.523.2007 F. 541.544.0781

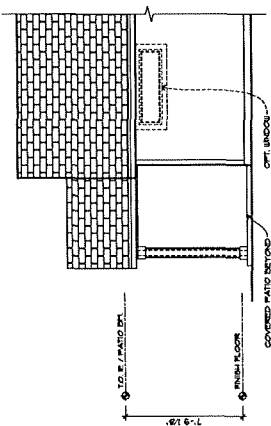
THE ASPEN
 600 SQ. FT.

REVISIONS
 CURRENT AS OF 011520

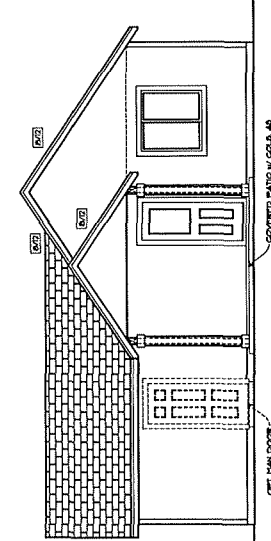
SIDE GARAGE

OPT. COVERED PATIO

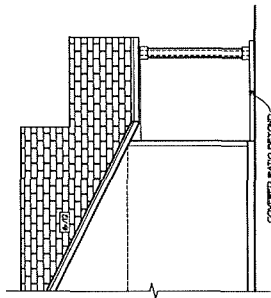
01



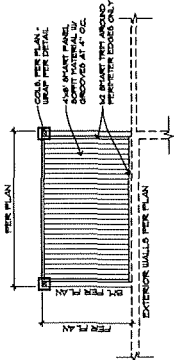
LEFT ELEVATION
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)



REAR ELEVATION
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)

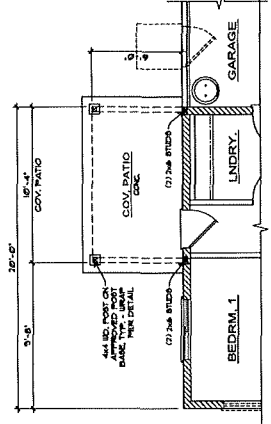


RIGHT ELEVATION
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)

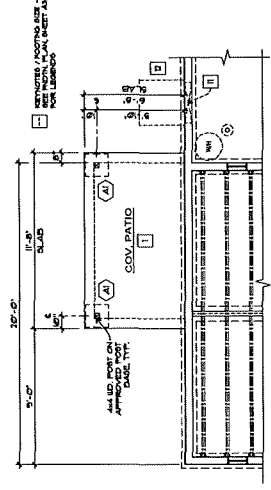


SOFFIT DIAGRAM

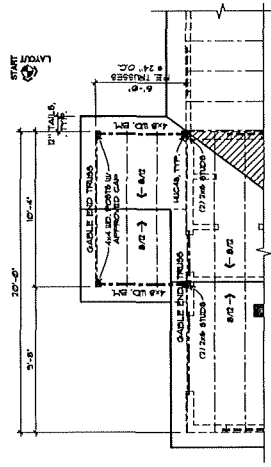
BUILD ONLY THE COVERED PATIO FROM THIS PLAN. VERIFY ALL OTHER FRAMING / FOUNDATION / DIMENSIONS PER SPECIFIC PLANS. BUILDING ELEVATIONS SHOWN ARE GENERIC - VERIFY PER PLANS.



FLOOR PLAN
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)



FOUNDATION PLAN
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)



ROOF FRAMING
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)
 SCALE: 1/8" = 1'-0" (11 X 17 SHEET)



**BENTON-FRANKLIN HEALTH DISTRICT
7102 W OKANOGAN PLACE
KENNEWICK, WA 99336**

**Sewage Disposal System Construction
Permit**

Owner: Wilson, Brian
56615 N West Roza PRNW
Benton City, WA
99320

Permit Number: 25336
Date Permit Issued: September 03, 2020
Date Permit Expires: September 03, 2021
County: Benton

Location Information

Property Address 56615 N West Roza PRNW **Subdivision/Legal:** SP 1696
City: Benton City **Block:**
Parcel Number: 1-0296-201-1696-001 **Lot:** 1

This system shall be installed by a licensed installer and be inspected and approved by the Benton-Franklin Health District before being covered. This permit shall expire one year from the date of issuance.

This permit has been issued based upon presently known site conditions and the information contained on the permit application. Any construction taking place on said property must be as indicated on the permit or revocation of this permit may result. This permit is subject to all applicable zoning laws and it is the permittee's responsibility to comply with said laws prior to system installation. All construction taking place shall be in compliance with Benton-Franklin Health District Rules and Regulations No. 2.

General Information

Type of Structure: Single Family	Number of Bedrooms: 4
Designed by: PE	Average Daily Flow: 360
Type of System: Sand Lined Trench	Maximum Daily Flow: 480
Treatment Level: C	

Pretreatment Information

Septic Tank Size: 1000 gal.
Depth of Burial: 0 inches
Outlet Baffle Filter: Yes
Pump Chamber Size: 1000 gal.
Dose Volume: 122 gal.
Reserve Volume: 360 gal.

Drainfield Information

Drainfield size: 660 sq ft
Drainlines length: 55 feet
Drainlines number: 4
Maximum trench depth: 45 inches
Aggregate depth: 9 inches
Distribution: Pressure Central manifold

Conditions

- Follow approved plot plan, maintain all setbacks.
- Maintain 100' minimum from subsurface sewage disposal system to all wells.
- Maintain 50' minimum from septic tank to all wells.
- Maintain positive drainage away from the drainfield.
- Drainfield lines may be shifted slightly to follow the contours of the slope.
- All components of the sewage system must be installed in accordance with the engineers plans stamped approved by the Benton-Franklin Health District.
- All components of the sewage disposal pressure distribution system must be installed according to the Engineer's Plans, submitted to this office, meeting Benton-Franklin District Health Department Rules and Regulations No. 2, Recommended Standards and Guidance for Sand Lined Trench Systems , Recommended Standards and Guidance for Pressure Distribution. Other requirements may be deemed necessary by this office for approval as the construction project warrants.
- The Design Engineer is responsible for all final inspections, written certifications of construction, and as-built drawings of the system installation. Final construction as-built drawings must be submitted to this office prior to final approval of the system .
- A representative from the Benton-Franklin District Health Department must observe and approve the pressure testing of the drainlines prior to the backfilling . The pressure test requires the laterals to have the orifices in the 12 o'clock position. The orifices shall not be restricted or blocked during the pressure testing .
- The Design Engineer is responsible for drafting an Operations and Maintenance Manual for the system. This office must receive and approve a copy of the manual prior to final approval.
- Approval of the system plans, requirements for site modification, and permit issuance is not to be construed as permission by this department to trespass or alter neighboring properties.
- At such time as a failure to the system occurs , all sewage generating activities must cease until such time as appropriate repairs can be made (i.e. additional site modifications and/or installation of the replacement area.)
- The pump chamber must conform to Benton-Franklin District Health Department "Standards for Construction and Design". The property owner/permittee, contractor and/or installer are responsible for contacting Labor and Industries for all electrical /safety code requirements and inspections within their jurisdiction.
- The sewage disposal system must be installed by a septic installer licensed within the Benton-Franklin Health District.
- The system must be pressure tested with potable water.
- If the existing septic tank is not used as part of this alteration , prior to approval of this system the said septic tank shall be decommissioned in accordance with Benton-Franklin District Board of Health Rules and Regulations No. 2.

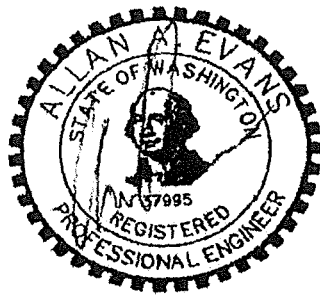
This permit to install an on-site sewage system is granted in accordance with Benton-Franklin District Board of Health Rules and Regulations No. 2.

JoDee Peyton
Environmental Health Specialist

Amy Person M.D.
District Health Officer

Pressure Distribution Sand-Lined Trench System
As designed for Brian & Tabitha Wilson
Short Plat 1696 Lot 1, 56615 N. West Roza PR NW, Benton City, WA
By Allan A. Evans, P.E.

Design Submittal
8/27/2020



BENTON-FRANKLIN HEALTH DISTRICT
These plans have been reviewed and approved
in accordance with BFHD's R&R#2

Septic tank capacity 1000 gal
Absorption area 660 sq ft
Bedrooms 4 Permit # 25336

By [Signature] Date 9/3/20
Environmental Health Specialist

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Table of Contents	ii.
Instructions & Specifications	1.
Pump/Flow Calculations	2.
Pump Chamber Calculations	3.
Drainfield Calculations	4.
Design Drawings	Attached
Manufacturer's Cut Sheets	Attached

Engineer's Contact Information

Allan A. Evans, P.E.
4507 Indian Ridge Drive
Pasco, WA 99301
509-366-7036

Instructions & Specifications

As designed for Brian & Tabitha Wilson
Short Plat 1696 Lot 1, 56615 N. West Roza PR NW, Benton City, WA

Please read through all instructions prior to performing work on-site.

Inspection

All site inspections before, during, and after construction of the pressure distribution system must be accomplished by the design engineer. The pump test shall be inspected by both the local health officer and by the design engineer. Design engineer shall be made aware of all changes made to the design prior to installation. Changes shall be noted by the contractor in as-built format.

Component Specifications

Pump

Monarch, WS50, 1/2HP, 120V

Control/Alarm Panel

Oreco Systems, Simplex, A1-RO-CT, 120V
NEMA 4 Enclosure
Pump and Control Breakers
Visual and Audible Alarming (Silence Switch)
Man./Off/Auto Switch

Float Arrangement

Oreco, A1-RO-CT, YGW (3 Float)

Intent of Float Settings

1. High level setting: Triggers alarm in control panel when liquid level reaches beginning of reserve level.
2. Pump on setting: Starts pump when liquid level reaches pump on level.
3. Pump off setting: Turns pump off when liquid level reaches pump off level.
4. Redundant off & Low Level Alarm setting: Triggers alarm in control panel if liquid level reaches setting and provides redundant off security.

Effluent Filter

Polylok-Zabel
A1801 - 4x18

Pump/Flow Calculations

As designed for Brian & Tabitha Wilson

Short Plat 1696 Lot 1, 56615 N. West Roza PR NW, Benton City, WA

Design Template - Basic Characteristics

	Required	
Commercial?	Non-Commercial	
No. of Bedrooms/Patrons	4	
Dose per Bedroom/Patron	120	120 gpd/bedroom or commercial
Receiving Soil Type	1	1-6 (7 Not Suitable)
Dose Rate	0.727	0.2 - 0.727
No. of Doses per Day	4	2 or 4
Orifice Spacing	2	Typically 2 or 6 (assuming 3' trench)
Dose Volume per Day	480	
Volume per Dose	120	Gallons
Minimum Reserve Volume	360	75% of Daily Flow
Minimum Infiltration Area	660	Square Feet (1.2x for bed)
Min. Septic Tank Size	1,000	gallons
Septic Tank Used	1,000 gal	
Min. Dose Tank Size	1,000 gal	
Dose Tank Used	1,000 gal	Triple (TC), Round (R), 1,000 (FT), 1,500
Surface Elev. at Tanks	100.00	feet
Top of Septic Tank Elev.	99.00	feet
Top of Dose Tank Elev.	98.50	feet
Invert Elev. of Dose Tank	93.42	feet
Elev. of Surface @Dist.Lines	102.00	feet
Lift Required	6.08	feet
Flow	46.26	gpm (from drainfield calculations)
Transport Length	110.0	feet
Transport/Manifold Diameter	2	inches (Sch.40)
Actual Inside Diameter	2.15	inches (Sch.40)
Area of Pipe	0.03	sq.ft.
Friction loss in pipe	3.15	feet
Velocity in pipe	4.10	feet per second
Velocity Head	0.26	
Pump Chamber K	7.8	
Other K	1.30	90d=0.6,45d=0.35
Loss from fittings	2.37	feet
Head Required at Dist.Lines	5.43	feet (from drainfield calculations)
<u>To Size Pump</u>		
Total Head Required	17.04	Feet
Flow Restated	46.26	gpm

Monarch, WS50, 1/2HP, 120V

Pump Chamber Calculations

As designed for Brian & Tabitha Wilson

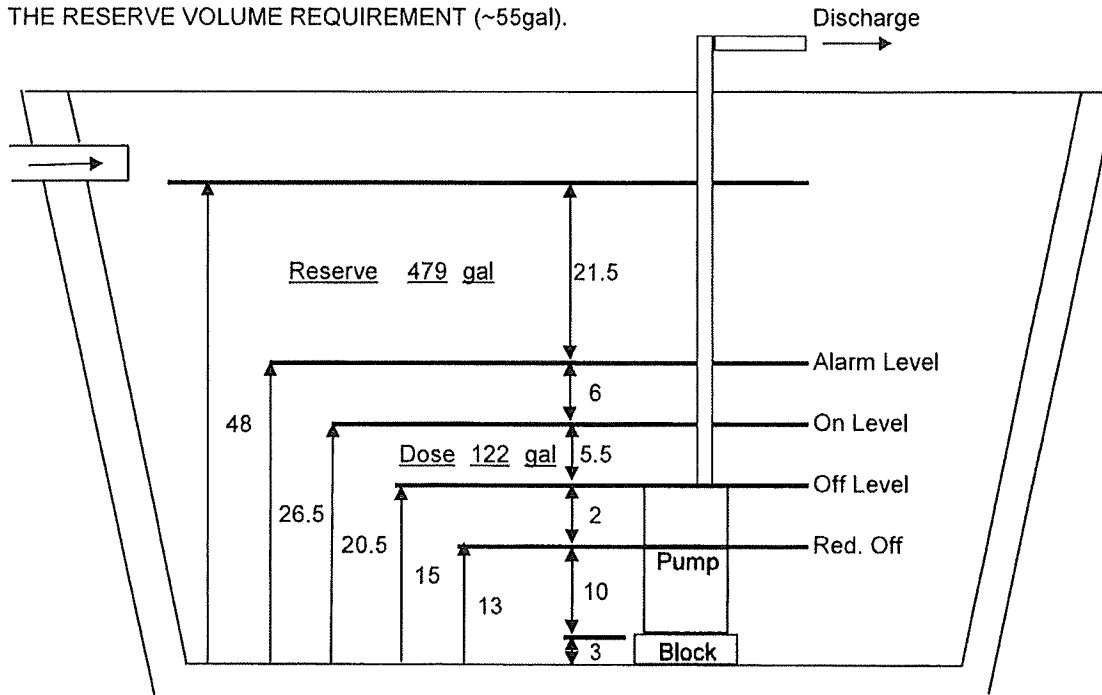
Short Plat 1696 Lot 1, 56615 N. West Roza PR NW, Benton City, WA

Dose Tank Used: 1,000 gal

- 13 in. 13" to red off/low water alarm
- 290 gal. Volume
- 2 in. 2" to pump off (15" total)
- 44.5 gal. Volume
- Change # till vol > 5.5 in. X" to pump on (dose)
- 122 gal. Volume
- 120 gal. Restate Dose Volume from previous sheet
- 6 in. dist to high water alarm (6" required)
- 134 gal. Volume
- 21.5 in. Remaining distance = reserve
- 479 gal. Reserve Volume
- 360 gal. Restate min. reserve volume

- 2 min. Time to Discharge (based on design dose - if timed)
- 36 sec.

NOTE: TRIPLE CHAMBER DESIGNS USE A PORTION OF THE FIRST TWO CHAMBERS TO MEET THE RESERVE VOLUME REQUIREMENT (~55gal).



Drainfield Calculations

As designed for Brian & Tabitha Wilson

Short Plat 1696 Lot 1, 56615 N. West Roza PR NW, Benton City, WA

This sheet calculates the flow and head requirements for 4 each 55' lines (center manifold).
It applies to a 0.727 application rate, 2' O.C. orifices - resulting in a 54' lateral, 55' trench,
28 orifices per lateral x 4 laterals = 112 orifices

Orifice Spacing	2	feet (2 or 6)
Residual Head at Distal Orifice	5	feet (2 or 5)
Orifice Diameter	1/8	inches (1/8 or 3/16)
Manifold Spacing	10	feet (normally 10)
Lateral Diameter	1.189	inches
Manifold Diameter	2.15	inches

Orifice # (out to in)	Orifice Discharge	Total flow in lateral	Distance to next orifi in section	friction loss Head (ft)
				5.00
1	0.4119	0.4119	2	0.00 5.00
2	0.4119	0.8239	2	0.00 5.00
3	0.4120	1.2358	2	0.00 5.00
4	0.4120	1.6478	2	0.00 5.00
5	0.4121	2.0599	2	0.00 5.01
6	0.4122	2.4721	2	0.00 5.01
7	0.4124	2.8846	2	0.01 5.02
8	0.4127	3.2972	2	0.01 5.03
9	0.4130	3.7102	2	0.01 5.04
10	0.4134	4.1236	2	0.01 5.05
11	0.4139	4.5374	2	0.01 5.06
12	0.4144	4.9519	2	0.02 5.08
13	0.4151	5.3670	2	0.02 5.10
14	0.4159	5.7828	1	0.01 5.11

Head at Manifold, before tee	5.11
Velocity in lateral before tee	1.68
Velocity Head in lateral before tee	0.0436
Head loss, 1" to 2"	0.0218
Head loss, 2" tee	0.0524
Total head at manifold tee	5.18
Double Flow	11.57
Head loss from manifold 1 to 2	0.0267
Head at manifold 2 tee	5.21 Compare Below

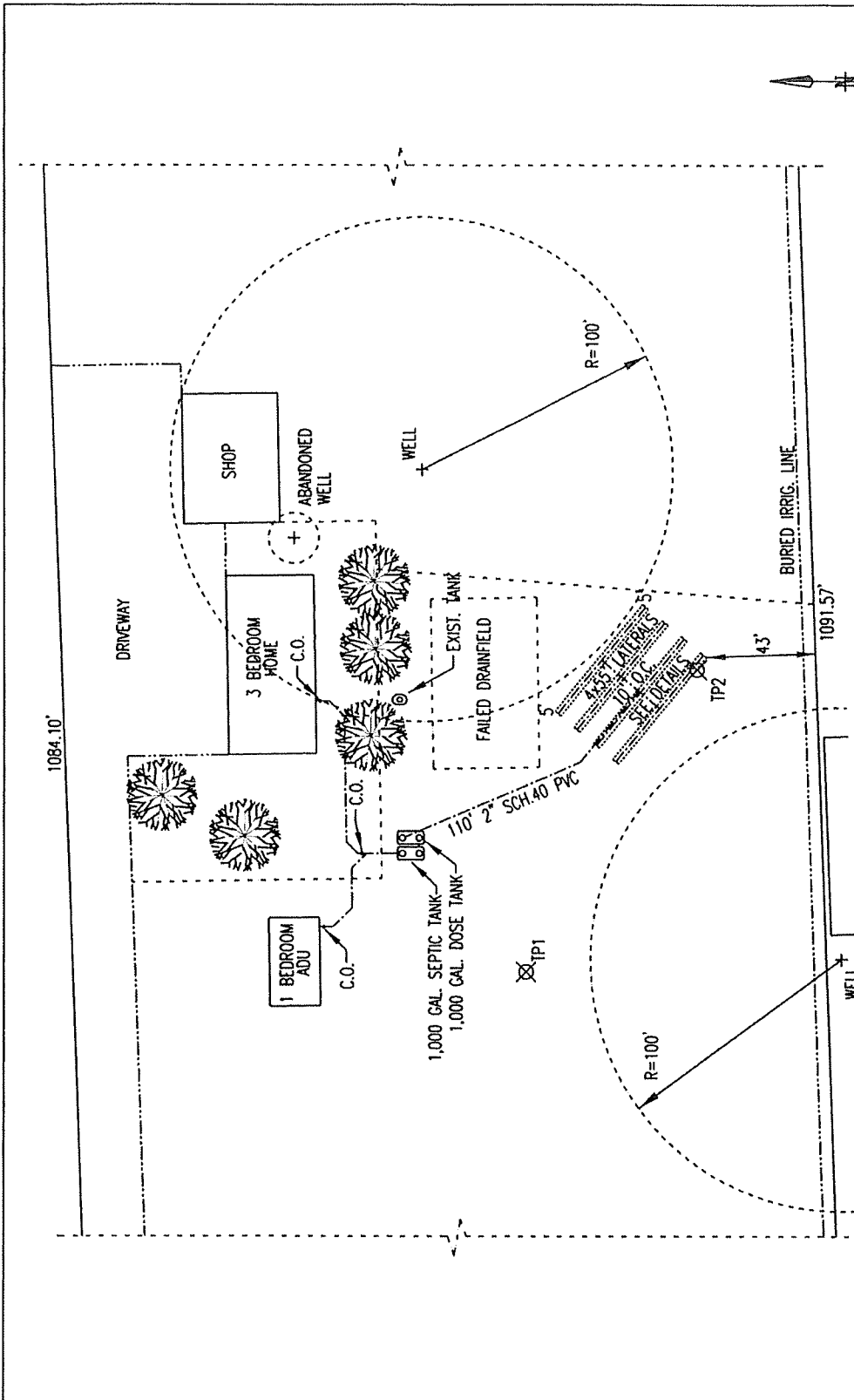
Next use trial and error for the next lateral

Orifice # (out to in)	Orifice Discharge	Total flow in lateral	Distance to next orifi in section	friction loss	Head (ft)
					5.03
1	0.41	0.41	2	0.00	5.03
2	0.41	0.83	2	0.00	5.03
3	0.41	1.24	2	0.00	5.03
4	0.41	1.65	2	0.00	5.03
5	0.41	2.07	2	0.00	5.04
6	0.41	2.48	2	0.00	5.04
7	0.41	2.89	2	0.01	5.05
8	0.41	3.31	2	0.01	5.06
9	0.41	3.72	2	0.01	5.07
10	0.41	4.14	2	0.01	5.08
11	0.42	4.55	2	0.01	5.09
12	0.42	4.97	2	0.02	5.11
13	0.42	5.38	2	0.02	5.13
14	0.42	5.80	1	0.01	5.14

Head at Manifold, before tee	5.14
Velocity in lateral before tee	1.68
Velocity Head in lateral before tee	0.0439
Head loss, 1" to 2"	0.0220
Head loss, 2" tee	0.0527
Total head at manifold tee	5.21 Should equal preceding


Total Q, manifold 2 to tee at trans.	23.13
Head loss from manifold 2 to transport tee	0.0963
Head at transport tee	5.31
Velocity in manifold before tee	2.05
Velocity Head in lateral before tee	0.0654
Head loss, 2" tee	0.0785
Head loss 6" of 2"	0.0048
Head loss, 90 deg elbow	0.0393

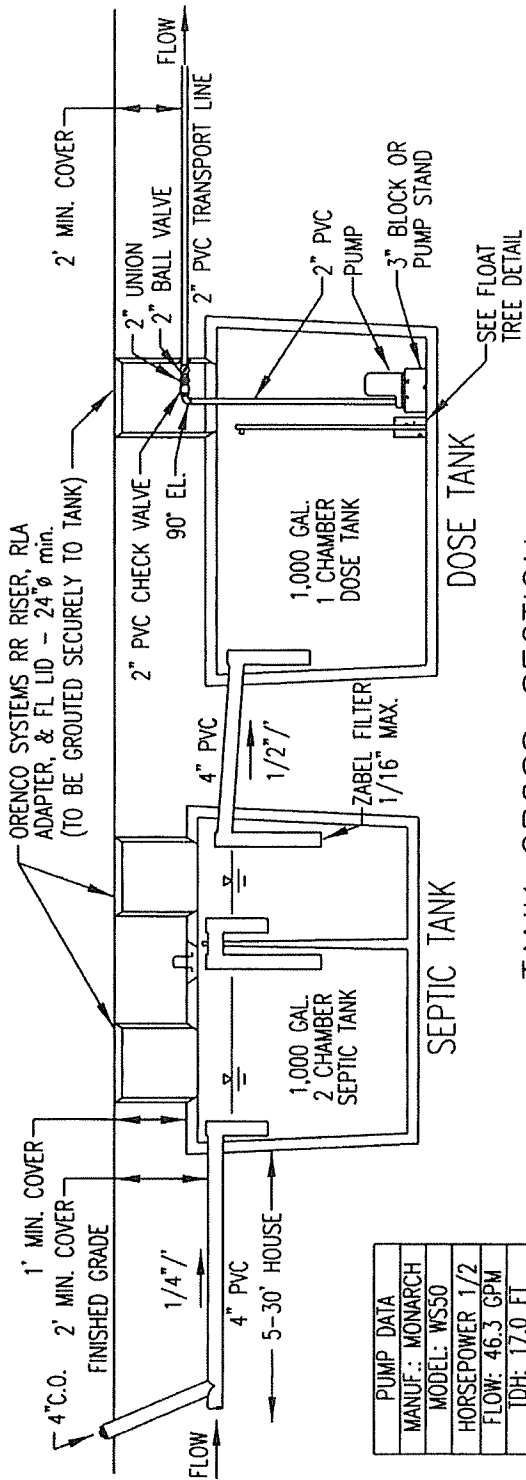
Head required at drainfield	5.43
Flow required at drainfield	46.26



- NOTES:
1. DRAINFIELD MUST BE 10' FROM ALL TREES, BUILDING FOUNDATIONS & DRIVEWAYS.
 2. ALL SEPTIC COMPONENT TO BE MIN. OF 50' FROM ALL WELLS, DRAINFIELD MIN. OF 100'.
 3. SYSTEM TO COMPLY WITH BFHD RULES & REGULATIONS NO. 2.
 4. SEPTIC TANK TO INCLUDE RISERS TO SURFACE & ZABEL A-1800 EFFLUENT FILTER.
 5. ROTATE DRAINFIELD AS NECESSARY TO FOLLOW CONTOUR.
 6. CONTRACTOR TO VERIFY WELL OFFSETS PRIOR TO CONSTRUCTION.

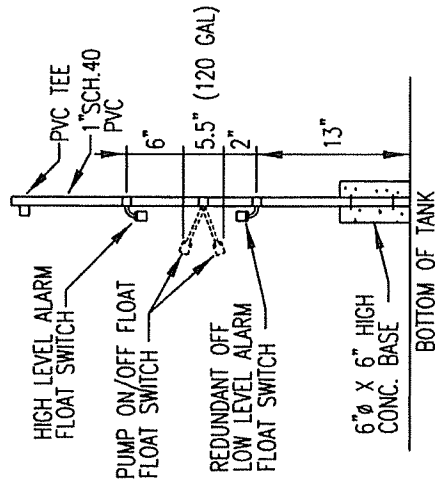
811
 Know what's below.
 Call before you dig.
 48 HOURS
 NOTICE REQUIRED

08/25/2020	SITE LAYOUT		SHEET
A. EVANS	SHORT PLAT 1696 LOT 1		1
SP1696L1.DWG	56615 N. WEST ROZA PR NW, BENTON CITY, WA		



TANK CROSS-SECTION

PUMP DATA
MANUF.: MONARCH
MODEL: W550
HORSEPOWER 1/2
FLOW: 46.3 GPM
IDH: 17.0 FT
DOSE TIME: N/A

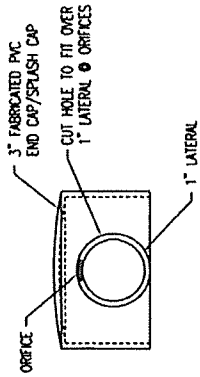


FLOAT TREE DETAIL

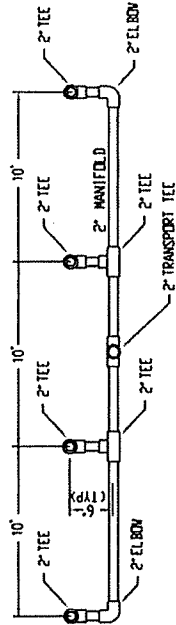
REFER TO CONTROL PANEL / FLOAT SETUP INSTRUCTIONS
 INSTALL J-BOXES IN RISER USING WATER TIGHT CONNECTIONS.
 ALL WIRING AND CONNECTIONS TO MEET OR EXCEED DOH AND L&I REQS.
 VERIFY ALL ELECTRICAL NEEDS PRIOR TO ORDERING

SCALE: NTS

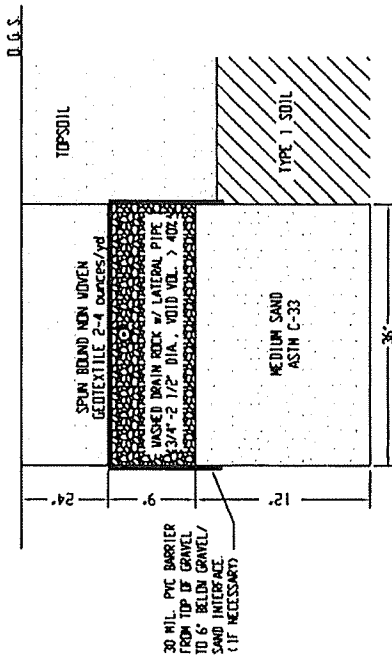
08/25/2020	TANK CROSS-SECTION & DETAILS		SHEET
A. EVANS	SHORT PLAT 1696 LOT 1		2
SP1696L1.DWG	56615 N. WEST ROZA PR NW, BENTON CITY, WA	CONSULTING	



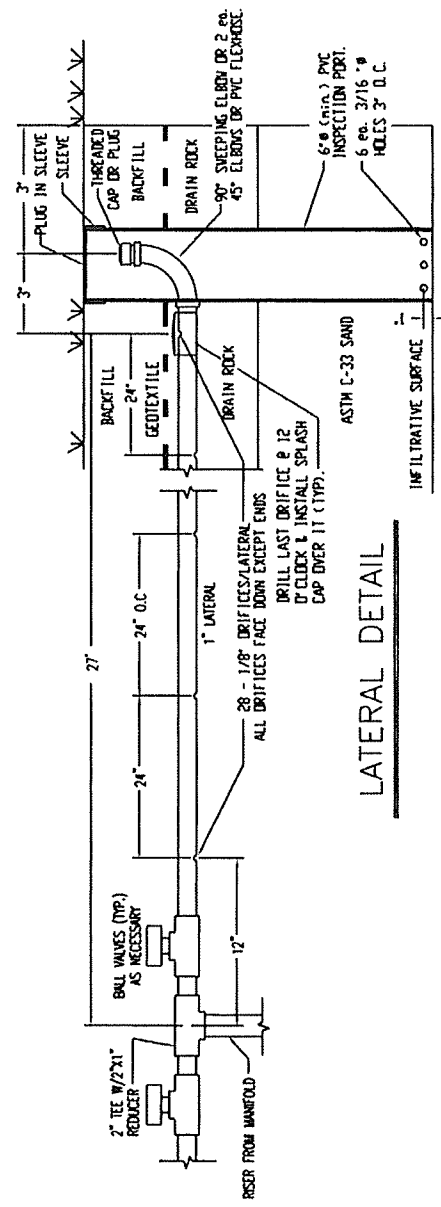
SPLASH CAP DETAIL



MANIFOLD LAYOUT




TRENCH DETAIL



LATERAL DETAIL

- SIZES AND LENGTHS**
- 110' TRANSPORT LENGTH
 - 2" SCH 40 TRANSPORT
 - 30' MANIFOLD LENGTH
 - 2" SCH 40 MANIFOLD
 - 54' LATERAL LENGTH
 - 1" CL 200 LATERAL
 - 55' TRENCH LENGTH
 - 3' TRENCH WIDTH
 - 2' ORIFICE SPACING
 - 1/8" ORIFICE Ø
 - 28 ORIFICES / LATERAL
 - 4 LATERALS

SCALE: NTS

08/25/2020	LATERAL CROSS-SECTION & DETAILS		SHEET
A. EVANS	SHORT PLAT 1696 LOT 1		3
SPI696L1.DWG	56615 N. WEST ROZA PR NW, BENTON CITY, WA		

A Series Simplex Alarm Panels

Simplex alarm panels are a low-cost option for effluent sewer (STEP) systems and pump control into conventional gravity or pressurized drainfields where cost is the critical factor. The "A" panel is designed to control a low horsepower simplex pump and alarm system. Pump power switching is handled directly by the pump's ON/OFF float switch, which must be motor-rated. Options are limited (see nomenclature).

Note: Orenco's A, S, and DAX series of standard electromechanical control panels are specifically designed for use with effluent pumping and onsite treatment systems, when pumping from point "A" to point "B."

Product Nomenclature

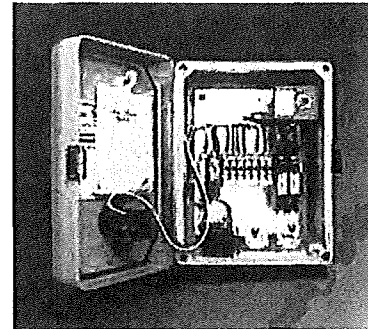


Options (should appear in the following order):
IR = intrinsically safe relay (S, DAX only)
PT = programmable timer (S, DAX only)
RO = redundant off
CS = current sensor (S, DAX only)
DS = disconnect switch
RA = remote alarm (dry contact)
TS = test switch
HT = heater
ETM = elapsed time meter
CT = counter
PRL = pump run light
PL = power light
SA = surge arrestor

Pump voltage:*
1 = 120 VAC
2 = 240 VAC

Panel series:
A = simplex alarm panel
S = simplex control panel
DAX = duplex alternating control panel

* All panels require 120 VAC for the controls



Product Example

Model Code

A1-RO-CT

Description

Simplex Alarm Panel, A Series, 120V, redundant off



Oreco Systems
Incorporated

814 AIRWAY AVENUE

SUTHERLIN, OREGON

97479-8012

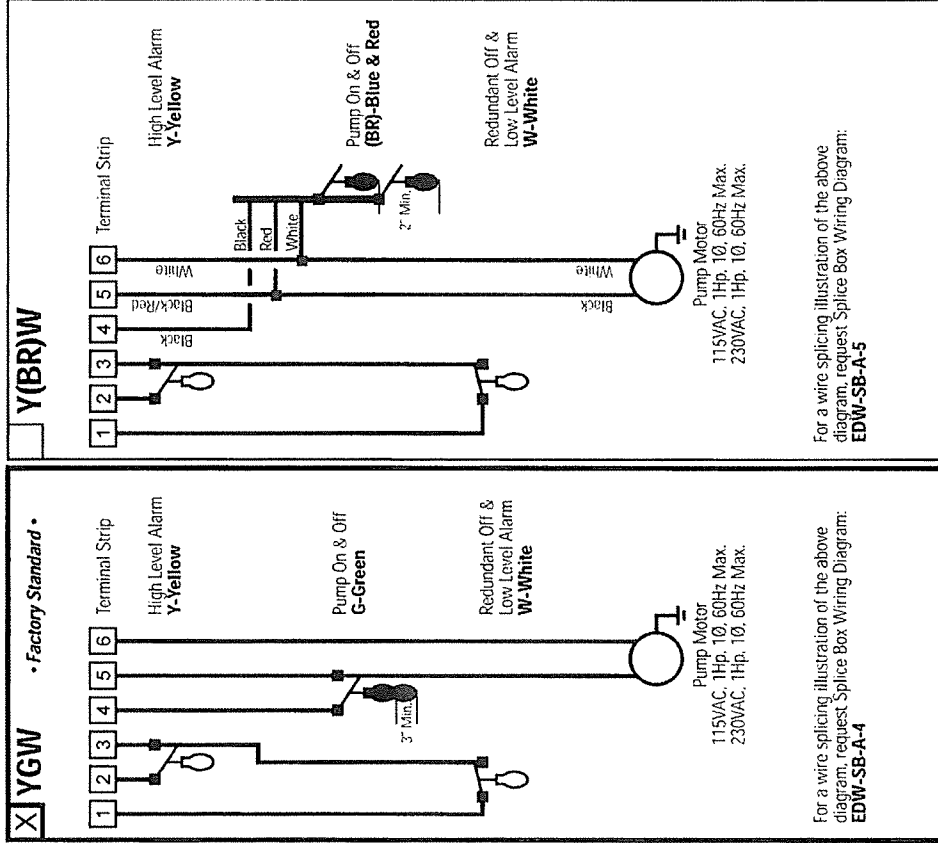
TELEPHONE

(541) 459-4449

FACSIMILE

(541) 459-2984

Float Arrangement Diagram



Float Types

Typical OSI float model: A
Specs: contact - normally open differential - no minimum power rating - signal
Possible substitutions: B,C,D

Typical OSI float model: B
Specs: contact - normally open differential - 3 min. power rating - pump
Possible substitutions: C,D

Typical OSI float model: T
Specs: contact - normally closed differential - no minimum power rating - signal

Typical OSI float model: K
Specs: contact - normally open differential - 2 min. power rating - pump

Drawing No.

EDW-FA-A-2

Control Panel Series

A RO

EDW-FA-A-2
Rev 2.1 ©11/16/98

EFFLUENT PUMPS

LittleGIANT®

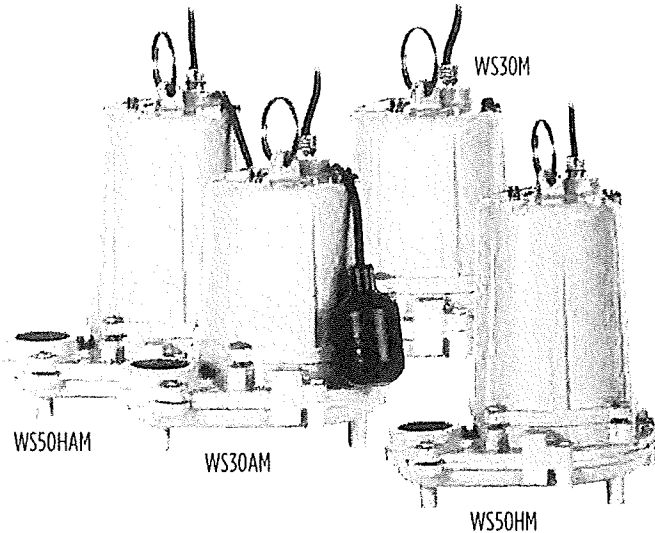
WS EFFLUENT SERIES - 1/3 HP, 1/2 HP, 1 HP

APPLICATIONS

Effluent wastewater removal, dewatering, water transfer

FEATURES

- Split-phase, oil-filled motor
- Designed for high torque
- Piggyback mechanical float option available for automatic operation
- 2" NPT (51 mm) discharge
- Handles solids up to 3/4" (19 mm) diameter
- 120 °F (49 °C) liquid temperature rating
- cCSAus listed



SERIES SPECIFICATIONS

Item No.	Model	HP	Volts	Phase	HZ	Amps		Watts	Performance (GPM @ Height in Feet)											Stall-Cur (lb)	PSI	
						FLA	Start		10'	15'	20'	25'	30'	35'	40'	45'	50'	60'	80'			
620010	WS30M	1/3	115	1	60	10.4	50.4	1000	90	70	45	15	-	-	-	-	-	-	-	-	28	12
620000	WS30AM	1/3	115	1	60	10.4	50.4	1000	90	70	45	15	-	-	-	-	-	-	-	-	28	12
620231	WS50M-20	1/2	115	1	60	11.6	26.9	950	90	80	64	50	-	-	-	-	-	-	-	-	42	18.2
620233	WS50AM-20	1/2	115	1	60	11.6	26.9	950	90	80	64	50	-	-	-	-	-	-	-	-	42	18.2
620251	WS50M-12-20	1/2	208-230	1	60	9.7	32.6	1100	90	80	64	50	-	-	-	-	-	-	-	-	42	18.2
620253	WS50AM-12-20	1/2	208-230	1	60	9.7	32.6	1100	90	80	64	50	-	-	-	-	-	-	-	-	42	18.2
620200	WS50HM	1/2	115	1	60	15	26.9	1100	115	107	98	88	78	67	57	43	30	-	-	-	63	27.3
620218	WS50HM-20	1/2	115	1	60	15	26.9	1470	115	107	98	88	78	67	57	43	30	-	-	-	63	27.3
620219	WS50HAM-20	1/2	115	1	60	15	26.9	1470	115	107	98	88	78	67	57	43	30	-	-	-	63	27.3
620220	WS50HM-12-20	1/2	208-230	1	60	9.7	32.6	1540	115	107	98	88	78	67	57	43	30	-	-	-	63	27.3
620221	WS50HAM-12-20	1/2	208-230	1	60	9.7	32.6	1540	115	107	98	88	78	67	57	43	30	-	-	-	63	27.3
620222	WS100HM-12-20	1	208-230	1	60	13.6	46.9	2660	150	145	140	134	128	121	115	106	97	76	27	27	90	39
620223	WS100HAM-12-20	1	208-230	1	60	13.6	46.9	2660	150	145	140	134	128	121	115	106	97	76	27	27	90	39
620207	WS100HM-32	1	208-230	3**	60	6.2/6.4	16.7	2340	150	145	140	134	128	121	115	106	97	76	27	27	90	39
620206	WS100HM-34	1	460	3**	60	3.1	16.7	2000	150	145	140	134	128	121	115	106	97	76	27	27	90	39

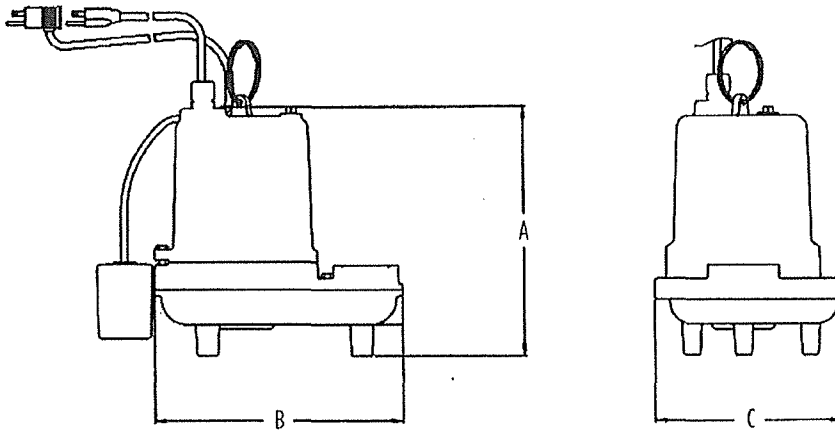
** Three-phase pumps must have a three-phase control panel for automatic or manual operation

Item No.	Model	Volts	Switch Type/Operation	In-Let	Out-Let	Cord	Weight
620010	WS30M	115	Manual	-	-	20' - 6.1 m	51 lbs - 22.68 Kg
620000	WS30AM	115	Piggyback Mechanical Float Switch	-	Adjustable	20' - 6.1 m	53 lbs - 24.04 Kg
620231	WS50M-20	115	Manual	-	-	20' - 6.1 m	55 lbs - 24.95 Kg
620233	WS50AM-20	115	Piggyback Mechanical Float Switch	-	Adjustable	20' - 6.1 m	57 lbs - 25.85 Kg
620251	WS50M-12-20	208-230	Manual	-	-	20' - 6.1 m	56 lbs - 25.40 Kg
620253	WS50AM-12-20	208-230	Piggyback Mechanical Float Switch	-	Adjustable	20' - 6.1 m	58 lbs - 26.31 Kg
620200	WS50HM	115	Manual	-	-	30' - 9.1 m	57 lbs - 25.85 Kg
620218	WS50HM-20	115	Manual	-	-	20' - 6.1 m	56 lbs - 25.40 Kg
620219	WS50HAM-20	115	Piggyback Mechanical Float Switch	-	Adjustable	20' - 6.1 m	58 lbs - 26.31 Kg
620220	WS50HM-12-20	208-230	Manual	-	-	20' - 6.1 m	56 lbs - 25.40 Kg
620221	WS50HAM-12-20	208-230	Piggyback Mechanical Float Switch	-	Adjustable	20' - 6.1 m	58 lbs - 26.31 Kg
620222	WS100HM-12-20	208-230	Manual	-	-	20' - 6.1 m	57 lbs - 25.85 Kg
620223	WS100HAM-12-20	208-230	Piggyback Mechanical Float Switch	-	Adjustable	20' - 6.1 m	59 lbs - 26.76 Kg
620207	WS100HM-32	208-230	Manual	-	-	30' - 9.1 m	62 lbs - 28.12 Kg
620206	WS100HM-34	460	Manual	-	-	30' - 9.1 m	62 lbs - 28.12 Kg

EFFLUENT PUMPS

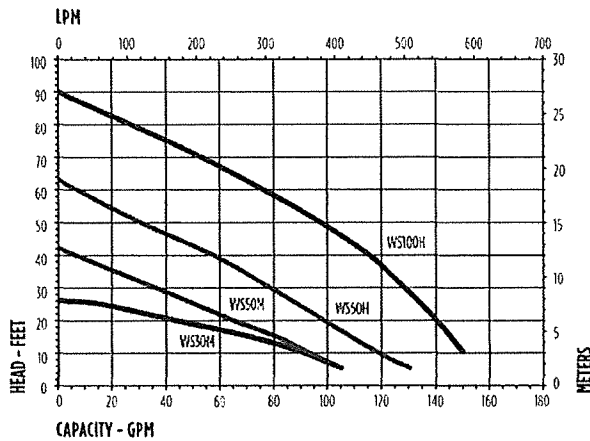
WS EFFLUENT SERIES - 1/3 HP, 1/2 HP, 1 HP

ENGINEERING DATA



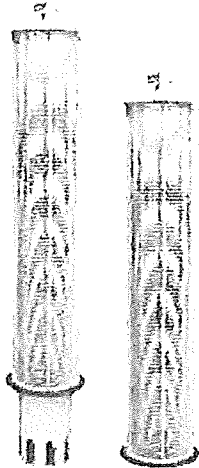
Model	A	B	C
WS30	11.25" 28.58 cm	12.25" 31.1 cm	9.38" 23.8 cm
WS50	13.75" 34.93 cm	12.25" 31.1 cm	9.38" 23.8 cm
WS50H	13.75" 34.93 cm	12.25" 31.1 cm	9.38" 23.8 cm
WS100H	13.75" 34.93 cm	12.25" 31.1 cm	9.38" 23.8 cm

PERFORMANCE DATA



CONSTRUCTION

Motor Housing	Cast iron
Impeller Material	Cast iron
Impeller Type	Non-dog
Volute	Cast iron
Motor Shaft	Stainless steel
Shaft Seal	Carbon/ceramic
Fasteners	Stainless steel
Bearings	Upper and lower ball bearings
Power Cord	SJOW



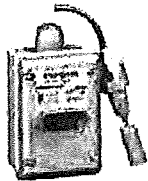
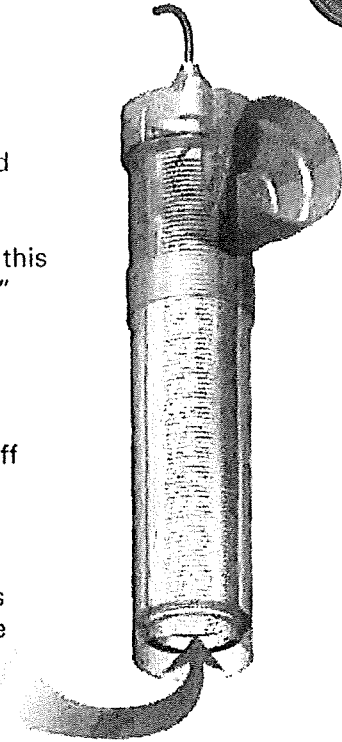
A1800

Like the PL-68, this filter was designed for Residential applications. The cartridge design allows for easy installation and maintenance and comes with our standard baffle (tee). All A1800 Series filters feature a locking tab that securely locks the filter into the tee. With 1/16" filtration, this filter is available in 18" and 22" lengths. The 22" A1800 comes with a built in gas deflector.

Patented Inside Out flow

Zabel's patented flow reduces the trapping of solids in the filter by allowing them to slough off and fall back into the tank for further digestion.

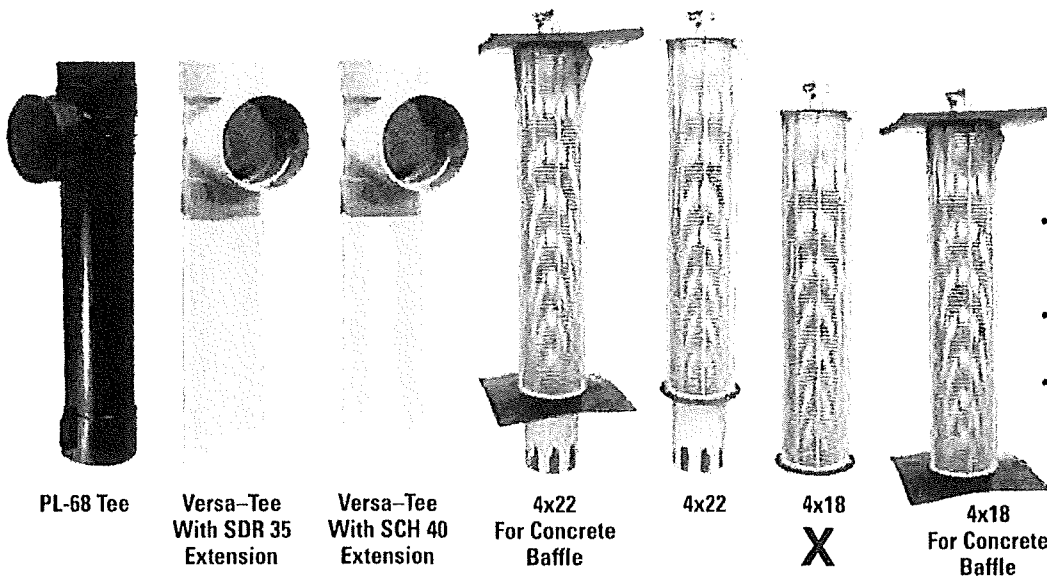
Slots rather than mesh screens provide less surface area for solids to attach and promote the sloughing action. Independent research has shown the Zabel A1800™ Series Filters reduce TSS by 40% in residential applications.



Outdoor Smart Filter Alarm

All Polylok/Zabel filters accept the SmartFilter® switch and alarm.

Our 4x18 and 4x22 filters can be used with ANY tee, including our PL-68 tee and our Versa-tees.



New One Piece Design

- Filters are no longer snapped together
- Won't break when servicing
- Now made of PolyPro for extra strength

Planning Department

(509) 786-5612
P.O. Box 910
Prosser, WA 99350



www.co.benton.wa.us

planning.department@co.benton.wa.us

Prosser Office: 620 Market Street, 1st Floor

Kennewick Office: 102206 East Wiser Parkway

HEM 1.4

October 2, 2020

Brian Wilson
56615 N West Roza PR NW
Benton City, WA 99320

Sent via email to brian.r.wilson.tricities@gmail.com

RE: Written Determination of Completeness
File Number: CUP 2020-015

Dear Applicant,

This office is in receipt of your project permit application for a Conditional Use Permit to allow you to build a detached Accessory Dwelling Unit at 56615 N West Roza PR NW. The Planning Department has determined that the required materials have been submitted and the application is complete. A file number has been assigned (CUP 2020-015) and the review process will now begin.

Although this office has determined that your application is complete, more clarification or information may be needed from you during the review process. If additional information is required, it will need to be submitted to our office before the item can be heard at the hearing before the Hearings Examiner. Prior to any hearing on your project, you will receive a public hearing notice and a staff memo.

Additional information and/or permits may be required from other agencies including, but not limited to, the Benton County Building Department, the Benton-Franklin Health District, the Benton County Public Works Department or the Washington State Department of Health.

If you have any questions regarding this matter, do not hesitate to contact this office.

Sincerely,

A handwritten signature in blue ink, appearing to read "Andrea S. Watts".

Andrea S. Watts, Associate Planner
Benton County Planning Department

From: Planning Department
Sent: Friday, October 2, 2020 4:23 PM
To: Benton Franklin Health District - Rick Dawson; Fire District #2 - R. Duncan; Clark Posey; Dale Wilson; Michelle Cooke; Benton Irrigation District; Benton REA - Chris Cooke; Benton REA - Derek Miller; Benton REA - Nick Pryor; Cristina Woods; Jeff Liner; Jordyn Reimer; Tavis Hatfield; Brian Bell; Jenelle Schadler; Michelle Johnson; Rod Worthington; Steve Brown; Troy Taylor
Subject: CUP 2020-015 (Wilson ADU)
Attachments: CUP 2020-015 Agency Rev Ltr.pdf; Brian Wilson BFHD Permit.pdf; CUP 2020-015 Wilson ADU application.pdf

Attached is a Conditional Use Permit application from Brian R. Wilson for your agency's review. Mr. Wilson is requesting to add an Accessory Dwelling Unit to his property at 56615 N West Roza PR NW.

PLEASE SUBMIT YOUR COMMENTS to planning.department@co.benton.wa.us by October 16, 2020. Please reference file number **CUP 2020-015** in all correspondence.

If you have any questions or need more time to review the application, please contact the Planning Department at (509)786-5612 or to the email above.

Thank you!



[April Brown, Permit Technician](#)
Benton County Planning Department
PO Box 910 Prosser WA 99350
(509) 786-5612
[Website](#)

The Planning Department has TWO OFFICES to serve you! I am usually in the Kennewick office (102206 East Wiser Parkway Kennewick, WA 99338). Our office in Prosser has moved to the First Floor of the Courthouse (620 Market Street, Prosser).

NOTICE OF PUBLIC DISCLOSURE: This e-mail account is public domain. Any correspondence from or to this email account may be a public record. Accordingly, this email, in whole or in part, may be subject to disclosure pursuant to RCW 42.56, regardless of any claim of confidentiality or privilege asserted by an external party.

From: Dale Wilson
Sent: Monday, October 5, 2020 7:48 AM
To: Planning Department
Subject: RE: CUP 2020-015 (Wilson ADU)

Is the shop listed in the ADU heated or non-heated space? If it is heated I would think that square footage would be added to the living space and make it over the allowable amount of living space for a detached ADU?



Dale Wilson, Code Enforcement Officer
Benton County Washington
(509) 222-2301

From: Planning Department <Planning.Department@co.benton.wa.us>
Sent: Friday, October 2, 2020 4:23 PM
To: Benton Franklin Health District - Rick Dawson <rickd@bfhd.wa.gov>; Fire District #2 - R. Duncan <rduncan@bcfpd2.org>; Clark Posey <Clark.Posey@co.benton.wa.us>; Dale Wilson <Dale.Wilson@co.benton.wa.us>; Michelle Cooke <Michelle.Cooke@co.benton.wa.us>; Benton Irrigation District <benton.irrigation@frontier.com>; Benton REA - Chris Cooke <CCooke@bentonrea.org>; Benton REA - Derek Miller <dmliller@bentonrea.org>; Benton REA - Nick Pryor <NPryor@bentonrea.org>; Cristina Woods <Cristina.Woods@co.benton.wa.us>; Jeff Liner <Jeff.Liner@co.benton.wa.us>; Jordyn Reimer <Jordyn.Reimer@co.benton.wa.us>; Tavis Hatfield <Tavis.Hatfield@co.benton.wa.us>; Brian Bell <Brian.Bell@co.benton.wa.us>; Jenelle Schadler <Jenelle.Schadler@co.benton.wa.us>; Michelle Johnson <Michelle.Johnson@co.benton.wa.us>; Rod Worthington <Rod.Worthington@co.benton.wa.us>; Steve Brown <Steve.Brown@co.benton.wa.us>; Troy Taylor <Troy.Taylor@co.benton.wa.us>
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From: Cristina Woods
Sent: Wednesday, October 7, 2020 10:34 AM
To: Planning Department
Subject: RE: CUP 2020-015 (Wilson ADU)

Good morning

Public Works has no comments as their access is off a private road.

Thank you

Cristina J. Woods

*Engineering Tech III
Benton County Public Works
102206 Wiser Parkway
Kennewick WA99338
509-786-5611*

From: Planning Department <Planning.Department@co.benton.wa.us>
Sent: Friday, October 2, 2020 4:23 PM
To: Benton Franklin Health District - Rick Dawson <rickd@bfhd.wa.gov>; Fire District #2 - R. Duncan <rduncan@bcfpd2.org>; Clark Posey <Clark.Posey@co.benton.wa.us>; Dale Wilson <Dale.Wilson@co.benton.wa.us>; Michelle Cooke <Michelle.Cooke@co.benton.wa.us>; Benton Irrigation District <benton.irrigation@frontier.com>; Benton REA - Chris Cooke <CCooke@bentonrea.org>; Benton REA - Derek Miller <dmiller@bentonrea.org>; Benton REA - Nick Pryor <NPryor@bentonrea.org>; Cristina Woods <Cristina.Woods@co.benton.wa.us>; Jeff Liner <Jeff.Liner@co.benton.wa.us>; Jordyn Reimer <Jordyn.Reimer@co.benton.wa.us>; Tavis Hatfield <Tavis.Hatfield@co.benton.wa.us>; Brian Bell <Brian.Bell@co.benton.wa.us>; Jenelle Schadler <Jenelle.Schadler@co.benton.wa.us>; Michelle Johnson <Michelle.Johnson@co.benton.wa.us>; Rod Worthington <Rod.Worthington@co.benton.wa.us>; Steve Brown <Steve.Brown@co.benton.wa.us>; Troy Taylor <Troy.Taylor@co.benton.wa.us>
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Thank you!



April Brown, Permit Technician
Benton County Planning Department
PO Box 910 Prosser WA 99350
(509) 786-5612
[Website](#)

Planning Department
 (509) 786-5612
 P.O. Box 910
 Prosser, WA 99350



planning.department@co.benton.wa.us
 Prosser Office: 620 Market Street, 1st Floor
 Kennewick Office: 102206 East Wiser Parkway

NOTICE OF OPEN RECORD HEARINGS

NOTICE IS HEREBY GIVEN that the following applications have been proposed to the Benton County Hearings Examiner for Benton County, Washington.

VAR 2020-001 Applicant: Donald Clark

The applicant is seeking a reduction of the 20' side yard setback to a 10' setback for a new shop. The Variance is being requested due to setback requirements, easements and the parcel size. The site is located at 180002 Robertson Road in Grandview, WA. Benton County Parcel No. 1-1894-202-0000-004

CUP 2020-014 Applicants: Stephen & Darlene Recker

The applicants are requesting permission to construct a detached Accessory Dwelling Unit on .91 acres in the Rural Lands 1 zoning. The site is located at 6503 Coulee Vista Drive in Kennewick, WA. Benton County Parcel No. 1-0588-402-0000-008

CUP 2020-015 Applicant: Brian R. Wilson

The applicant is requesting permission to construct a detached Accessory Dwelling Unit on 7.49 acres in the Rural Lands 5 zoning. The site is located at 56615 NW Roza PR in Benton City, WA. Benton County Parcel No. 1-0296-201-1696-001

NOTICE IS GIVEN that said the Benton County Hearings Examiner will hold an open record public hearing for the above stated applications on Monday, November 16, 2020 at 10:00 am.

Due to the ongoing and unprecedented COVID-19 emergency, participation in this meeting will only be offered virtually. All concerned persons may virtually appear and present any support for or objection to an application or provide written testimony to the Hearings Examiner in care of the Planning Department on or before the date of the hearings. Written testimony may be submitted to: Benton County Planning Department PO Box 910 Prosser, WA 99350. Any information submitted to Benton County is subject to the public records disclosure laws for the State of Washington (RCW Chapter 42.17) and all other laws that may require the release of the documents to the public.

To find information on virtual attendance options which include streaming video, Webex video conferencing and telephone, please visit: www.tinyurl.com/BCPublicNotice

If you wish to provide comments on any of the actions before the Hearings Examiner, we ask that you please fill out our online form (found at <https://tinyurl.com/testifyform>) and submit your request to our office. **You must submit a request form to participate for each hearing that you wish to attend.** If you prefer to make the request by phone, please call our office at (509) 786-5612 and we can add you to the list for providing testimony. At the meeting the names of those wishing to testify will be called out and at that time you will be able to present your comments/concerns regarding the specific agenda item. We do ask that participants please limit background noise or mute their line to prevent any unnecessary interruption to the meeting.

If you have questions regarding any of the land use proposals listed or have questions about submitting comments or attending a virtual hearing, please contact the Planning Department at 509-786-5612 or visit our office at 102206 E. Wiser Parkway, Kennewick, WA 99338.

Dated this 30th day of October 2020

SUSAN E. DRUMMOND
 Benton County Hearings Examiner

GREG J. WENDT, Planning Manager
 Benton County Planning Department

PUBLICATION DATE: November 4, 2020